



To Protect and Promote the Health and the Environment of the People of Kittitas County

December 18, 2009

Jeff Watson
Staff Planner
Kittitas County CDS
411 N Ruby Street, Suite 2
Ellensburg, WA 98926

RE: Benveniste Setback Variance, VA-09-00015

Dear Mr. Watson,

I am commenting in regards to the Benveniste Setback Variance Request, VA-09-00015. After review of the site plan provided by the applicant and review of the existing On-Site Septic Permit information, it appears that the proposed structure, in which requires the variance, would be placed directly on and around the reserve septic soil log and dedicated reserve drainfield area defined in the OSS permit issued on 5/8/95 to David Marsh #20-14-02050-0213.

Although, septic approval would not be required until a building permit is applied for, it seems appropriate to resolve this issue prior to issuing a variance for a structure that would be built over the dedicated reserve drainfield area.

In order to identify a new reserve drainfield area, the applicant must contact a licensed septic designer to schedule an OSS Site Evaluation with the Kittitas County Public Health Department (KCPH). Once the Site evaluation is complete, a Site Plan drawn by licensed septic designer will be reviewed by KCPH and the file will be updated if found acceptable.

If you should have any questions, comments, or need any additional assistance, please don't hesitate to contact me (509) 933-8262.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe Gilbert", is written over a white background.

Joe Gilbert, EH Specialist II
Kittitas County Public Health Department

Kittitas County
Public Health Department
507 N. Nanum Street, Suite 102
Ellensburg, WA 98926
T: 509.962.7515
F: 509.962.7581



www.co.kittitas.wa.us/health/

Environmental
Health Services
411 North Ruby Street, Suite 3
Ellensburg, WA 98926
T: 509.962.7698
F: 509.962.7052

KITTITAS COUNTY HEALTH DEPARTMENT

Environmental Health Programs

507 N. Natum Street Ellensburg, WA 98926 (509) 962-7698

On-site Sewage Installation Permit

Type of Permit: New Repair Alteration Privy

Name DAVID MARSH Date Issued 5/8/95

Subdivision/Address PINE LOCATIONS I BLK B LOT 13

Parcel # 20-14-0350-0213

Installer BEEHIVE HOFFINE Designer BEEHIVE

No. Bedrooms 2 Type of Building FRAME

Septic Tank (gals) 1000 Pump Chamber (gals) 1000

Application Rate 0.6 Square Foot of Drainfield Area 3606

Comments PRESSURE SYSTEM INSTALLED 12" DEEP MAX.

INSTALL AS DESIGNED

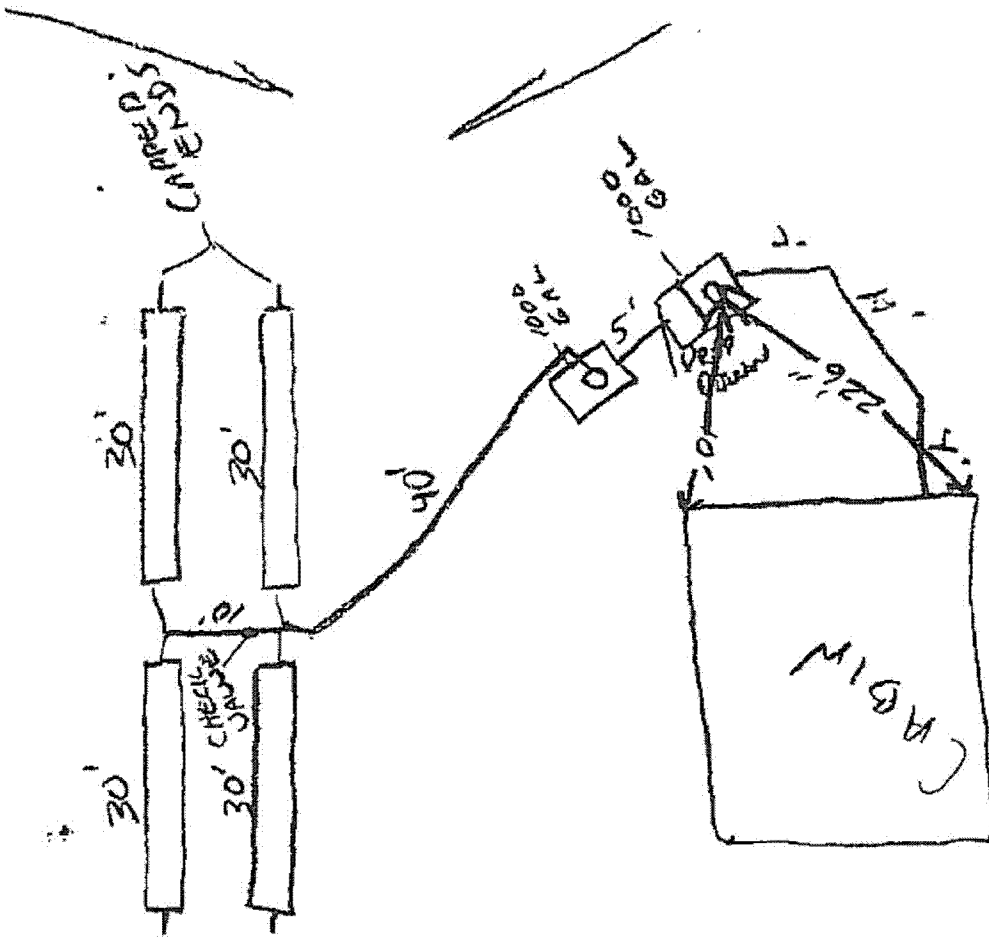
Issued by MARY NELSON Inspected by MW

This Permit expires one year from date of issuance. The above specifications are minimum. Changes in specifications shall be approved before construction. Seventy-two (72) hours advance notice required for inspections.

Disapproved Date / / Approved Date 5/31/95

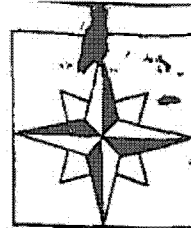
Reason for disapproval

MARSH
ASBUILT



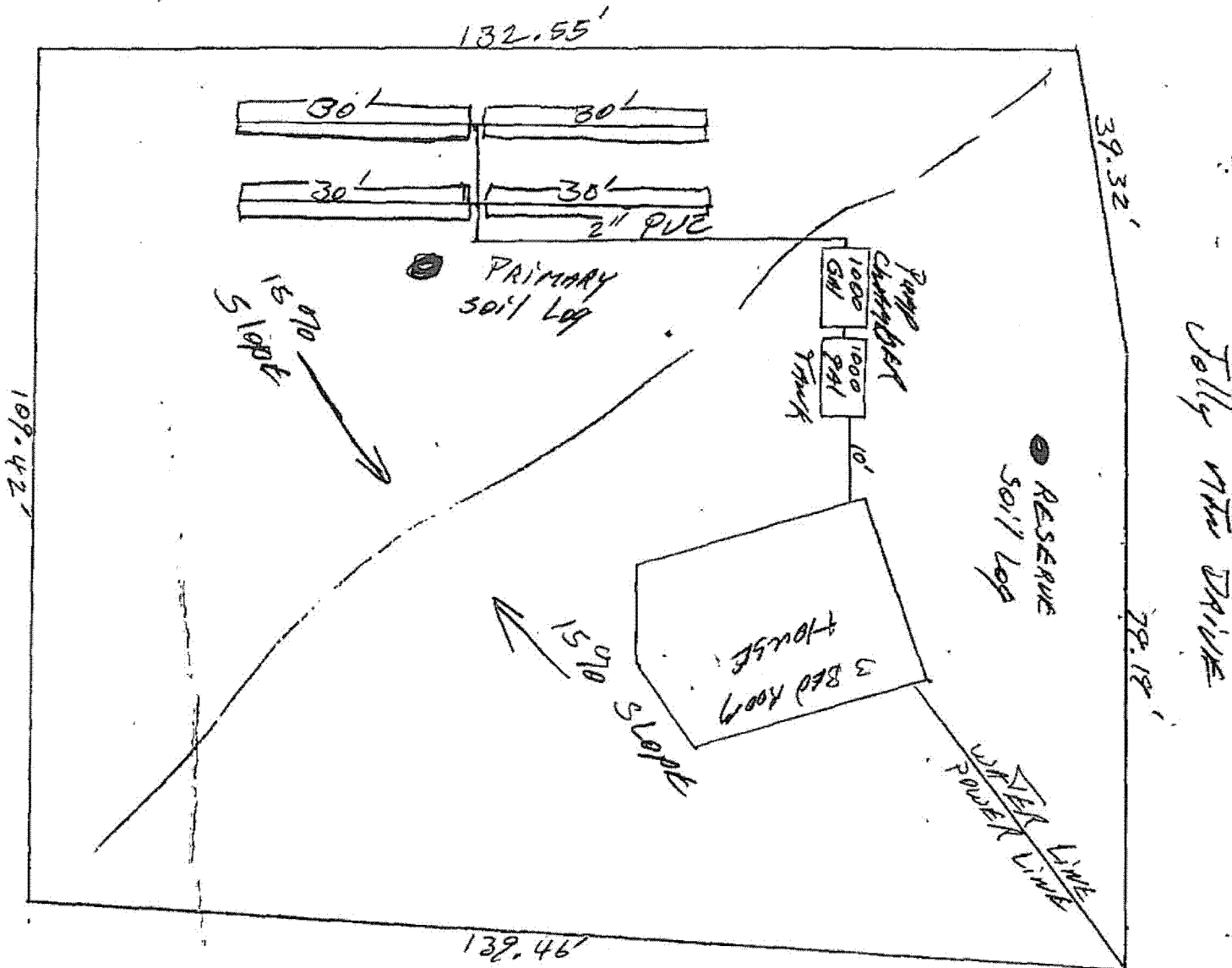
DRAW AND DESIGN AT THE FOLLOWING:

- 1) property lines (with dimensions), roads, driveways, fences, utility lines, easements
- 2) topography - banks, swales, cuts and fills, drainage ways, ground slope (%)
- 3) proposed and existing dwellings, garages, pump house, outbuildings, etc.
- 4) surface waters (within 300 feet) - creeks, ponds, irrigation ditches, interceptor drain
- 5) domestic water source with 100' radius shown and water lines (including neighbors' within 300 feet)
- 6) proposed systems (with dimensions) existing systems (within 300 feet), location of soil log holes

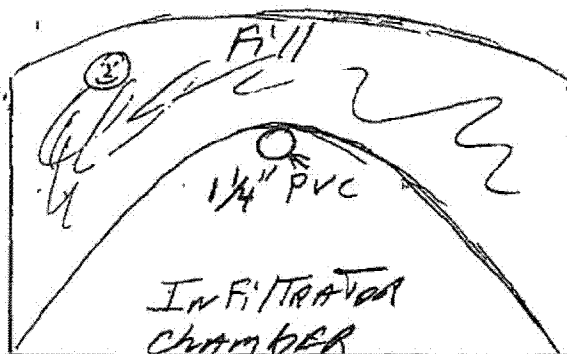


Scale: 1" = 20'

PRIMARY SYSTEM

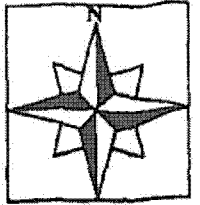


CROSS SECTION



1/8 HOLES ON 24" CENTERS

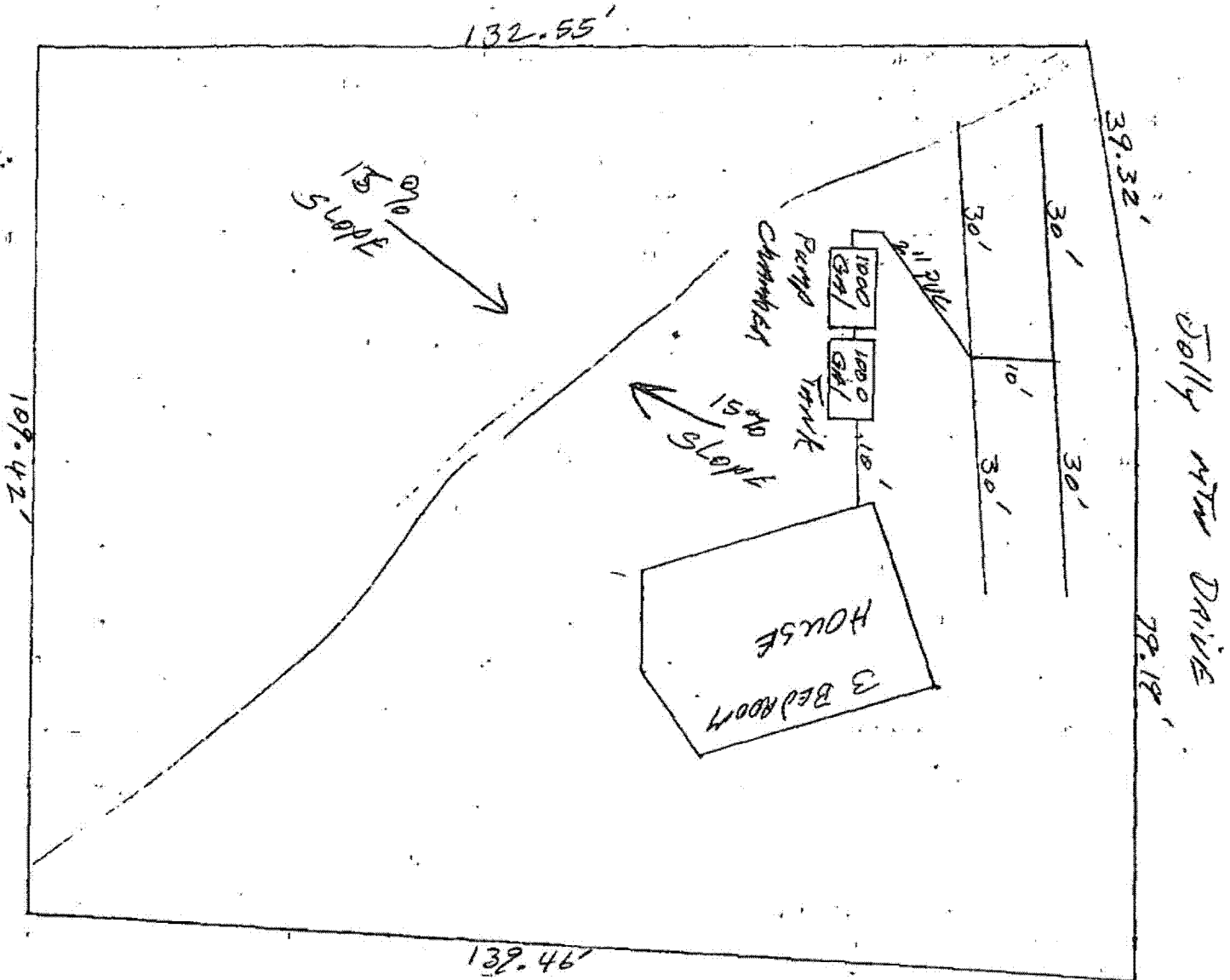
- 1) property lines (with dimensions), roads, driveways, fences, utility lines, easements
- 2) topography - banks, swales, cuts and fills, drainage ways, ground slope (%)
- 3) proposed and existing dwellings, garages, pump house, outbuildings, etc.
- 4) surface waters (within 300 feet) - creeks, ponds, irrigation ditches, interceptor drain
- 5) domestic water source with 100' radius shown and water lines (including neighbors' within 300 feet)
- 6) proposed systems (with dimensions) existing systems (within 300 feet), location of soil log holes



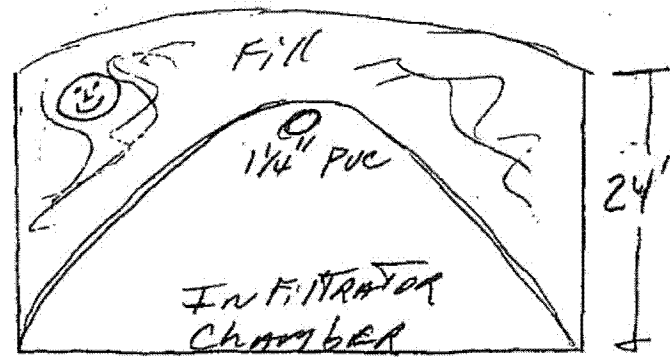
RESERVE SYSTEM

Scale: 1" = 20'

~~PERMITS REQUIRED~~



CROSS SECTION



1/8 HOLES ON 24" CENTERS

12/29/2009 9:50 AM

Jeff Watson

From: Mandy Weed on behalf of CDS User
Sent: Monday, December 21, 2009 8:19 AM
To: Jeff Watson
Subject: FW: Benveniste Setback #VA-09-00015

Follow Up Flag: Follow up
Flag Status: Flagged

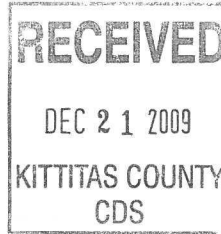
Mandy Weed

From: GARY HARRIS [mailto:harrishse@clearwire.net]
Sent: Sunday, December 20, 2009 1:43 PM
To: CDS User
Subject: Benveniste Setback #VA-09-00015

Attn: Jeff Watson. Thanks for the notice. Dolores and I are OK with this proposal.
We are Lot 050-0203 at Pine Loch Sun. Gary Harris

Notice: All email sent to this address will be received by the Kittitas County email system and may be subject to public disclosure under Chapter 42.56 RCW and to archiving and review.

message id: 38eb45916c6dcbdac24bb8719d004a14



Jeff Watson, Staff Planner,

While it is our wish to live peacefully with our neighbor, keeping the existing setback is desirable for my wife and me. The buffer between the two homes is filled with mature trees, and we appreciate their beauty. Our understanding of our neighbor's project will require the removal of many of these trees. We purchased this property for the appeal of the woods. The thought of a large barn type garage placed up at the property line is not desirable. Allowing a structure within the existing setback encroaches on the space between the homes. It would effectively move the property line our way in appearance, since most people looking at the land in between the homes factor in the setback. It is basically a land grab. If he wanted to move the property line, he really should propose purchasing the needed land. It is our understanding that the neighbor's proposed project will require many dump truck loads of dirt to be placed in the gully. We do not want the dirt fill spilling on to our property. It is also conceivable that a garish retaining wall will be necessary. If so, keeping the garage far away from the property line as possible is desired. Please do not allow the Benveniste setback variance, VA-09-00015.

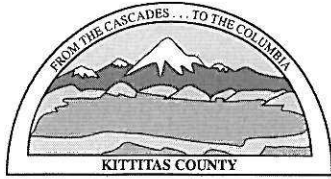
Sincerely,

R. Brian Kane DDS

181 Jolly Mountain Road

Cle Elum Washington.

206 276 8884



KITTITAS COUNTY
DEPARTMENT OF PUBLIC WORKS

MEMORANDUM

TO: Jeff Watson
FROM: Christina Wollman, Planner II *CW*
DATE: December 18, 2009
SUBJECT: Benviniste Setback Variance VA-09-00015

The proposal does not appear to impact the existing or future transportation needs of Kittitas County. The Department of Public Works has no comment.